

Division I - General Requirements:

1. Project Summary: Tenant finish work for Catholic Charities at 815 Second Street, LaSalle Illinois in existing facility. Tenant will make decisions related to schedule, cost, materials, changes to the work, etc. Owner will make decisions related to site use and access to the work. Toilet facilities, electrical service and distribution, fire alarm system, exiting, emergency lighting and mechanical systems exist and are to be modified as specified. No structural work is specified. Demolition work includes: Stud/ drywall partitions, doors and frames, suspended ceilings, floor finishes, electrical devices, wiring and conduit, etc. as shown on the drawings. Other minor demolition not stated, but indicated by the drawings and required for a complete job is required. Existing studs, doors, frames, light fixtures, interior windows, fire alarm and other devices, mechanical louvers and other devices, ceiling grid, etc. are to be salvaged for re-use. Excess at end of job is to be properly disposed of. New work includes: metal or wood stud/ drywall partitions, suspended ceilings, fire alarm system, wall base, paint, electrical devices, wiring and conduit, mechanical devices, etc. as shown on the drawings. Other minor construction work not stated, but indicated by the drawings and required for a complete job is required. Contractor to obtain and pay for all required permits. Submit insurance certificate prior to beginning work.
2. Professional labor for carpentry & electrical work being donated to tenant. G.C. is to provide materials, access, coordination & other support to groups donating time to tenant.
3. Site use: Do not unreasonably encumber site or block traffic flow. Protect existing paving and site features to remain. Replace if damaged at no additional cost to the Owner. Coordinate parking, dumpster & toilet facilities locations w/ the owner. Materials may be staged on site, or in the construction space. Contractor remains responsible for security of materials & equipment until permanently installed.
4. Building Use: Use of the existing building for telephone or any other purpose other than the specified work is prohibited. Existing power, lights, heat & toilets may be used during construction. Clean / restore at completion of project. Do not use existing ac/ air system without covering inlets & outlets with high efficiency filters.
5. Exiting: Emergency exits are to be kept clear during hours of occupation. Temporary exits are to be clearly marked, and directional indicators to closed exits are to be temporarily obscured.
6. Regulatory Requirements: All construction shall be in compliance with the following codes and standards:
 - A. 2006 International Building Code.
 - B. 2006 International Mechanical Code.
 - C. 2005 National Electric Code.
 - D. 2004 Illinois State Plumbing Code.
 - E. 1997 Illinois Accessibility Code.
 - F. 2006 International Energy Conservation Code.
7. Mechanical and Electrical Coordination: The drawings are intended to act as a set. In the event of conflicts, the Architectural drawings will govern except as decided otherwise by the Architect. All trades shall coordinate their work. Order of space preference is as follows: recessed lighting, sprinkler piping, low pressure ductwork, soil, waste, vent and storm piping, liquid heat transfer piping, domestic water piping, electrical conduits. Provide access panels, sleeves and inserts to the appropriate trades for installation in time for them to be inserted in the work. Coordinate schedules with the General Contractor. Temporary power and water may be extended from the existing building systems or existing outlets to remain. Owner / Tenant will pay cost of consumables.
8. Cutting and Patching: Cut and patch existing and new work as required and as shown. Provide proper shoring. Do not cut structural members without the express consent of the Architect, except as specified in the drawings. Items to be salvaged are to be cut or removed carefully and stored to avoid damage.
9. Grades Lines and Levels: Lay out work as dimensioned and detailed on the drawings. Each contractor shall field check and verify all dimensions and existing conditions prior to construction. Notify the Owner's Representative of any discrepancy immediately.
10. Coordination: All details and sections shown on the drawings are intended to be typical and shall be construed to apply to similar conditions elsewhere. Contact Architect for clarification or additional details if a unique condition is encountered. Coordinate schedule of tenant's labor.
11. Construction Aids: Provide shoring, lighting, temporary heat, weather protection, ladders, scaffolds, hoists, barriers, etc. as required to prosecute the work, provide security for workers, occupants and the public, and to provide a safe work environment. Maintain lighting levels sufficient for workers to complete their tasks. Provide telephone and drinking water for workers.
12. Storage and Protection: Each contractor is responsible for storage and protection of supplies and equipment. Items to be salvaged and re-used shall be stored in a manner to avoid damage to the materials and their finishes, including method of stacking, environmental conditions, etc. Follow manufacturer's recommendations for protection and proper environmental conditions for storage of new materials.
13. Cleaning: Provide construction and final cleaning. Construction cleaning means no accumulation of debris, trash, material scraps, etc. Entrance is to be maintained useable at all times except specific short intervals coordinated with the Owner and existing Tenants. Coordinate dumpster locations. Provide separate waste containers for metals and cardboard and dispose of to recycling company. Final cleaning includes windows, finishes, dusting, vacuuming, polishing metal finishes, cleaning out cabinets and drawers, mopping floors, washing and disinfecting toilets and lavatories, changing filters, etc. Existing carpet to remain is to be professionally cleaned. Existing vinyl tile to remain is to be stripped, washed and waxed.
14. Quality Assurance: Employ only properly trained & licensed workers. Rework required by inexperienced workmanship will be at contractor's expense. Provide 1-year Contractor's warranty for the entire project. Provide additional manufacturer's warranties as indicated. Warranties are to start on the date of substantial completion. Materials are to be purchased from companies regularly engaged in the manufacture of said materials. Where specific products are specified, alternate products of equal or better quality are acceptable. Substitutions are at contractor's risk.
15. Inspections: Contractors arrange for all city required inspections at appropriate times.
16. Existing conditions: Do not park or store materials outside areas designated by Owner. Protect existing doors, windows, finishes, equipment, devices, etc. not specified for demolition.
17. Closeout - Closeout procedures are required as follows:
 - A. Rod out waste lines.
 - B. Submit test & balance reports.
 - C. Recharge, test & tag fire extinguishers.

Division 5:

1. Use 3/5" 8", 24 GA metal studs except as noted. Brace walls to deck @ 12'-0" o.c. where unsupported length exceeds 12'-0".

Division 6 :

1. Rough Carpentry: Provide rough carpentry for plywood backing and grounds for installed equipment as required by the intent of the documents and as shown on the drawings. Use of salvaged framing lumber and backing material is encouraged.
2. Millwork: Match existing wood trim and finish.
3. Labor for Division 6 work will be provided by tenant, materials by G.C.

Division 7:

1. Sound Attenuation: Provide at all new partitions for hallway, office & break rooms. Sound insulation to be acoustical batt, Owens-Corning, Pw or Celotex.
2. Blow in loose fiberglass or cellulose for sound attenuation at indicated existing walls. Access wall cavities above ceilings.

Division 8:

1. Existing Conditions: Existing wood doors and frames are to be salvaged and re-used as indicated on Door Schedule. See schedule for hardware changes to existing doors. 12 New doors to be solid core wood veneer to match existing. Provide no metal frames.
2. Fire rated glazing to be Firelite 45 min. or equal
3. Coordinate keying with owner's Schlage C Keyway. All latch latchesets to be lever operated IAC compliant. Adjust new and existing closers to 5 lb pull tension.
4. Electric strike to be Adams - Rite 7100 or equal.
5. Provide entry keypad, Schlage King Cobra or equal, at pull sides of Doors 24 and 28.
6. Labor for Division 8 work will be provided by tenant, materials by G.C.

Division 9:

1. Gypsum Board: All gypsum wallboard (GWB) to be 5/8" fire rated type. GWB to have tapered edges for tape and finish. Tape to be reinforced paper. Provide asbestos-free joint compound as recommended by manufacturer. Corner bead to be formed metal. Finishes joints and corners to be sanded smooth, with no pocks, scratches or bubbles as evaluated after work is primed. Labor for managinq will be provided by tenant.
2. Provide foam sound seals at new walls which terminate at ceilings.
3. Patch, extend, retrofit and provide new acoustical ceilings as shown on the Drawings. Use salvage grid to the extent possible. Recycle tiles to the extent possible. Provide new tiles to match as indicated and required. Include tile removal & reinstallation at existing grid for painting.
4. New grid to match existing in size and be white.
5. Provide patches & infill to match wall texture & surface. Prime all patches.
6. Scope of painting: Paint all rooms and areas. Paint all painted door frames. Electrical conduit and boxes on surface are to be painted with same paint as surface. Paint ceiling grid with semi-gloss enamel.
7. All new paint to be latex, low VOC type, maximum 150 gm/ liter except as approved by architect. Varnish to be maximum 350 gm/ liter. Sherwin-Williams, MAB or equal.
8. Painting preparation: Remove and reinstall existing lights and devices on surfaces to be painted. Patch fastener holes and minor blemishes prior to painting. Prime coat all unfinished drywall and patches in existing surfaces.
9. Existing painted surfaces to receive one finish coat. Previously unpainted or newly textured surfaces to receive two finish coats. Spray painting is acceptable where adequate protection of existing finishes is done.
10. Clean up overspray and/ or paint on pre-finished items, finishes, ceiling grid, etc. Strip existing vinyl flooring and wax all vinyl flooring at end of project.
11. Provide 5" vinyl thresholds at doors out into existing walls and as noted.
12. Clean tile & de-stain grout at all ceramic tile. Seal grout at end of project.
13. Provide all new rubber base except at 1,4,5,6,8,9,10,11,12,14,20,21,22,23.
14. Provide new carpet as shown. Carpet to be Shaw Dotcon II or equal.

Division 10:

1. Toilet Accessories: Toilet paper holders, paper towel dispensers, soap dispensers and mirrors exist. Provide pipe insulation and modifications to grab bars as indicated.
2. Heavy duty adjustable brackets - Knapp & Vogt #255 & shelf clips #256. Mounting tracks @ 3'-0" o.c. max.

Division 15:

1. Scope of HVAC Work: HVAC work includes all new distribution for new rooms from existing rooftop split systems as shown on the Drawings. New work includes - new ductwork, duct & pipe insulation, thermostats and control wiring, smoke detectors in return air ducts and test and balance. All work in compliance with IMC.
2. Scope of Plumbing Work: No plumbing work is specified.
3. Provide layout drawings indicating final lower locations, CFM at each location and duct routing and sizing to City and Owner. Air balance all systems using independent company.
4. Materials:
 - Rectangular duct - metal, sizes required, 1 1/2" duct wrap insulation.
 - Round duct - metal, sizes required, 1" duct wrap
 - Flexible duct - sizes required, 1" insulation, limit runs to 6', flex duct to be layed without kinks and unnecessary bends.
 - Supply diffusers - Titus TMS w/ damper, 24x24, white.
 - Return grilles - Titus PAR, perforated, white.
 - Heating piping - Type M copper, sizes as required.
 - Pipe insulation - 1" Armaflex or fiberglass.
5. Provide hydronic base board heat as shown from existing boiler. Modify existing base board as indicated. Include brance control & shut-off valves.
6. Inspect & test existing hydronic heat system after new work is complete.
7. All sheets are a set and act together. Review entire set prior to bidding, mechanical work may be indicated on architectural or electrical drawings.

Division 16:

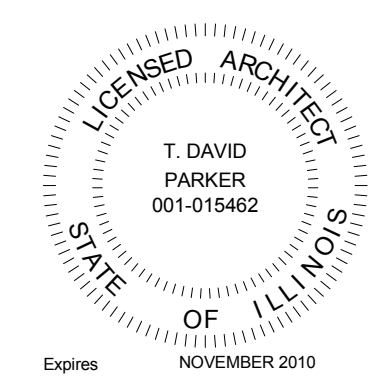
1. Scope of Work: Electrical work is primarily to modify existing systems as shown on the Drawings. Demolition work includes - temporarily remove lights, remove speakers & wiring from ceilings for ceiling replacement and retrofit work, remove and salvage boxes, devices and conduit. New work includes - patch/ extend existing lighting circuits, provide switching for circuit breaker controlled lighting circuits, provide timeclock lighting control, replace and reroute conduit and wire as required for new layouts, provide new lighting and switching as indicated & provide boxes and conduit for new data wiring by others.
2. Fire Alarm: Fire alarm is to be a design-build contract solicited and administered by Owner. FAC to provide complete for alarm system for entire suite. Work includes - set new panel for suite, tied to other building systems as required, reroute existing wire from existing devices and telephone system, remove, protect and reset existing devices for new configuration, testing, etc. Layout on Drawings is schematic - provide complete drawings and specifications to architect and city. EC include box & conduit for wall-mounted devices shown coordinate final location w/ FAC.
3. New timer to be astronomical time clock w/ sufficient relay capacity for all lighting circuits. All lights in suite except designated night lights are to be master controlled with timer. All lights in suite except Open Office IO? & existing toilets, Break & Conference Room to be controlled with occupancy sensors. Provide photocell for exterior signage.
4. Existing distribution, switching and power to remain as built except as specified to be modified on Drawings. Change labels on existing panels to reflect new room names and configuration. Power circuits are to be kept separate from lighting circuits.
5. Materials:
 - Wire - Drawn soft copper, THHN 600 volt insulation on conductors to IO ga, THWN insulation for larger sizes, 12 ga. minimum size except home runs exceeding 75' to be IO ga.
 - Conduit and boxes - Electric Metallic Tubing to be thin wall zinc plated with compression steel connectors. Provide flexible connector for equipment and lights where permitted by code. Provide pull boxes with accessible covers where required and to limit conduit bends to 270 degrees aggregate. Boxes to be hot-dipped galvanized with knockouts. All openings to be sealed. Provide boxes of appropriate size for number of conductors and devices shown. Boxes for three or less data connections may be single gang; boxes for 4-6 data connections to be 2-gang.
 - Devices - Hubbell, GE, Leviton, match existing color for plates and devices. Existing salvaged devices may be re-used where in good condition. Inspect all existing devices not relocated and present repair/ replacement summary to architect. Inspection to be included in bid, replacements (if any) will be additions to the contract. Occupancy sensors to be Wattsopper PW-100 or equal.
 - Lighting - Existing 4-lamp T12 light fixtures are specified to be re-used. All new 32W T8 lamps are required. Disable inboard light ballasts on all reinstalled fixtures. New fixtures are identified on the drawings; fixtures not specified as new are existing. Include testing of existing lights in base bid. If not enough existing lights are available w/ o repair, adjustments may be applied for to repair sufficient fixtures for the project.
 - 6. Testing: test all lighting, circuits, devices and controls prior to final inspection.
 - 7. All sheets are a set and act together. Review entire set prior to bidding, electrical work may be indicated on architectural or electrical drawings.
 - 8. Labor for Division 16 work will be provided by tenant, materials by G.C.

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Signature & Date

BID SET



Specifications



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